

Frisco

FORM-BASED CODE Manual



Credits

CITY COUNCIL

Mayor Mike Simpson
(Former) Mayor Pro-Tem, Maher Maso
(Former) Dep. Mayor Pro-Tem, Bob Allen
Matt Lafata, Joy West, Tony Felker, Jim Joyner
Jeff Cheney, David Prince

PLANNING & ZONING COMMISSION

Dave Wilcox – Chair
Philip Lotspeich – Vice Chair
Jim Tupper – Commissioner
Bob Bennett – Commissioner
Chris Moss – Commissioner
Bryan Johnson – Commissioner
Geraldyn Kaminsky – Past Chair

AD-HOC COMMITTEE

Steve Modory
Jim Williams
Paul Shaw
Brant Bryan
Jim Gandy
Geraldyn Kaminsky
Steve Hulsey
Pieter Kessels
Coy Talley

STAFF

John Lettelleir
Jeffrey Witt
Michael Walker
Liz Metting

CONSULTANT

Townscape, Inc.

City of Frisco

Form-Based Code Standards

Introduction	1
Glossary of Terms	2
General	5
G-1. Administration	5
G-2. Landmark Commercial Buildings.....	8
G-3. Street Grid.....	9
G-4. Interconnectivity of Developments.....	10
G-5. Neighborhood Oriented Open Space	11
G-6. Views	12
Land Use	13
LU-1. Mixed-Use Developments	13
LU-2. Retail At-Grade Standards (Urban)	14
LU-3. Residential At-Grade Standards (Urban).....	15
LU-4. Relationship Between Residential and Non-Residential in a Non-Mixed Use Setting	16
LU-5. Building Orientation as it Relates to Open Space.....	17
Site	18
S-1. Site Layout – Big Box.....	18
S-2. Site Layout – Retail Centers	20
S-3. Commercial Use Parking Location.....	22
S-4. Fencing, Visible from the Street	23
S-5. Single Family Residential Garage Locations.....	24
S-6. Single Family Residential Front Entry Garages	25
Building	27
B-1. Architectural Detailing of Residential Window Treatments	27
B-2. Front Porch Requirements	28
B-3. Anti-Monotony	29
B-4. Residential Building Standards for Traditional Neighborhood Developments (TND).....	30
B-5. Commercial Building Form	31

Public Realm	32
PR-1. Special Street Types — Retail Internal Circulation.....	32
PR-2. Special Street Types — Round-About.....	34
PR-3. Special Street Types — Townhome Alley.....	35
PR-4. Sidewalks	36
PR-5. Street Trees	37

INTRODUCTION

INTENT

This Form-Based Code Standards document implements policies in the *2006 Comprehensive Plan* that focuses on physical form. The majority of these policies can be found in Chapter 5 *Livability Strategy*, which seek to ensure that Frisco guides its development in a way that creates neighborhoods and centers which are simply great places to be and which foster social interaction and a sense of community. These types of developments tend to attract financial reinvestment over time and therefore become sustainable building blocks of a great city.

These standards are representative of “great places” around the country and around the world that embody timeless attractiveness and contribute to positive human social and economic interaction.

HOW TO USE THIS DOCUMENT

The standards set out in this document are intended to be utilized in creating planned development districts throughout the City which implement the Comprehensive Plan. They represent a starting point from which certain elements of standards may be varied as appropriate for each district. Care must be taken however, not to greatly vary these standards to such an extent that the positive physical and social characteristics are compromised. Please note that all references to ordinances in this document are to existing ordinances or as they may be amended.

For ease in cataloguing, standards are organized into:

- General
- Land Use
- Site
- Building
- Public Realm

GLOSSARY OF TERMS

Big Box Development. Any building designed for a single ground floor tenant greater than 70,000 s.f. or as may be defined in the Comprehensive Zoning Ordinance, whichever is more restrictive.

Build-to Line. This is a defined line parallel to a public or private street that the primary building façade must be built along.

Browsing Lane. In this code, “browsing lane” refers to particular configuration of parking with a drive aisle that is similar to the diagram in *S-2-Retail Centers*. It relies on the fact that the drive aisle will continue through different properties along a block face. It is intended only for those developments located along a 4-lane or larger thoroughfare, and provides convenience parking for customers, and slows traffic speed. The primary pedestrian sidewalk is transitioned from the front street into the site to be adjacent to the building face.

CPTED (Crime Prevention Through Environmental Design). The concept of CPTED is based upon the following theory: the proper design and effective use of the built environment can lead to the reduction in the incidence and fear of crime, and an improvement in the quality of life.

Director. References to “the Director” in this document refer to the Director of Planning & Development Services for the City of Frisco or his/her designee.

District. The zoning district which refers to the standards in this document.

Feature Buildings. Buildings which are located on axis with a terminating street or open space, or at the intersection of streets. Such buildings shall incorporate architectural features which address height and articulation that emphasize the importance of such a location.



FEATURE BUILDING EXAMPLES

Neighborhood Oriented Open Space. This is shared common open space in a residential or mixed use residential neighborhood that is intended to help create property uniqueness, enhance property value and support neighborhood socialization. It is not a part of the City's parks program or eligible for park dedication fee credits, and it does not include landscaped portions of public street rights-of-way.

Pattern Book. This is an inventory of building styles and designs for a particular development, including available additions and variations which are proposed by the developer and which guides the "style" of buildings constructed in a development. It may also refer to and utilize "*A Field Guide to American Houses*" by Virginia and Lee McAlester, Alfred A. Knopf, 1990. The Pattern Book may also include requirements or limitations on the number or repetition of certain elements such as front porches, mother-in-law or studio suites, garage configurations and cementitious siding. Pattern Books must be approved by the Planning & Zoning Commission.

Pedestrian Oriented Development. Development that is designed and built to cater to the pedestrian by creating an experience of comfort, safety, security, attractiveness and interest. This includes land use patterns, urban design characteristics and transportation systems.

Public Realm. The term "Public Realm" refers to both the public areas of streets and parks, and the semi-public areas of sidewalks, streets and parks/plazas within a private development which the general public is intended to use, such as in retail and mixed use centers.

Style. Refers to acceptable architectural styles, including such things as building articulation, window proportion, doors, garage doors, roof shape, materials and building siting.

TND Neighborhoods. "Traditional Neighborhood Developments" that are determined by the Director as generally incorporating the following characteristics:

- Designed to be pedestrian-oriented with sidewalks of a minimum of 5 feet wide;
- Contain a mixture of residential unit types (such as single family, "mother-in-law" suites, townhomes, multi-unit homes and/or lofts in conjunction with retail);
- A majority of homes include front porches of at least 70 square feet (s.f.) and are generally set back no more than 15-20 feet from the sidewalk;
- Include community-accessible open space;

- All streets are lined with shade trees.

Urban Mixed Use Development. This is a development or portion of a development that includes a mixture of residential and non-residential uses in a configuration where a majority of the buildings are two or more stories tall and pedestrian-oriented.

Waiver to Design Standards, Major (Major Waiver). A significant change to both the standards and intent of this Zoning District, which involves Planning & Zoning Commission approval. (See “G-1. Administration”.)

Waiver to Design Standards, Minor (Minor Waiver). A minor change to the standards, but not the intent, of the Zoning District and involves Director approval unless otherwise noted. (See “G-1. Administration”.)

GENERAL

G-1. Administration

A. INTENT

It is the intent that a developer or builder who wishes to develop utilizing form-based code standards included in this document will be processed in an expedited manner with administrative approvals where possible. However, if there are Major Waivers requested, additional approvals shall be required which may require additional time to process applications.

B. REGULATING EXHIBIT

1. Authority

A Regulating Exhibit is the instrument for application of certain zoning district provisions to properties, and shall be considered part of any Zoning District utilizing the standards in this document. It establishes such things as:

- a. Public Realm
- b. Major street types within the district
- c. Sub-district areas
- d. Land uses
- e. Required at-grade retail construction
- f. Public open space and plazas
- g. Regional Hike and Bike Corridors

2. Zoning of Property

Regulating Exhibit Required. A Regulating Exhibit for the property to be zoned shall be adopted as part of the zoning of such property.

C. DEVELOPMENT APPLICATION SUBMITTAL

Applications for development submittals for plats and site plans shall be made in accordance with the City's development review process. Review of such applications shall follow the Zoning and Development Review Schedule as provided in the Zoning and Development Packet.

D. WAIVERS OF DESIGN STANDARDS

1. For the purposes of this District, there are two types of Waivers of Design Standards — Minor and Major. A waiver request shall be made in conjunction with an application for a site plan and/or plat. The applicant shall specify the reasons for the waiver and provide alternatives to meet the regulation(s) at the time of the waiver request.
2. **Minor Waivers** are those changes to design standards in the District which may be approved administratively by the Director in conjunction with a decision on an application for approval of a Site Plan. All Minor Waivers must meet the full intent of the Zoning District and applicable standards in this document. Minor Waivers are specified within each Section of this Code.
3. **Major Waivers** are major changes to the design standards in the District, including any change not identified in *Subsection 2* above. Major Waivers may only be approved by the Planning & Zoning Commission following a recommendation by the Director, with an appeal to the City Council, in conjunction with a decision on an application for approval of a Site Plan and/or plat.
 - a. In order to approve a Major Waiver, the Planning & Zoning Commission must find that the waiver:
 - Will not compromise the public realm or discourage pedestrian use.
 - Meets the general intent of this Manual and the zoning district in which the property is located, and
 - Will result in an improved project which will be an attractive contribution to the district; and
 - Will not prevent the realization of the intent of the district or adjoining districts.
 - b. Major Waivers are specified within each Section of this Code.
4. **Conditions.** The approving authority may impose lawful conditions on granting any Waiver to mitigate negative impacts on neighboring properties, public streets or open space.
5. **Appealing the Director’s Decision on a “Minor Waiver”.** The applicant may appeal the decision of the Director regarding a Minor Waiver to the Planning & Zoning Commission within 14-calendar days of notification of the decision.
6. **Appealing the Planning & Zoning Commission Decision on a Waiver.** The applicant, Director, or four members of City Council may appeal the decision of the Planning and Zoning Commission regarding a Minor

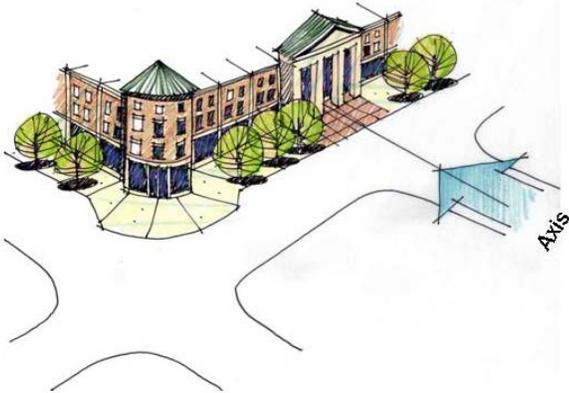
Form-Based Code Standards

December 18, 2007

Waiver to the City Council within 14-calendar days of official action of the Planning & Zoning Commission on a Minor Waiver.

7. **Appeal to Council.** City Council has final decision making authority over any Waivers that come before the Council.

G-2. Landmark Commercial Buildings



INTENT

To create a focus and identity for the community, and provide a means for orientation for pedestrians and drivers. Landmark buildings include office, retail and urban housing buildings at street termination and at the corners of intersections; they also include civic and cultural buildings such as theaters, museums and schools.

STANDARDS TERMINI CORNERS

Requirement	Buildings at the terminus of a street and at the intersection of streets shall include landmark features as noted below.	
Height	Up to 20% taller for portion within projection of terminating ROW	Up to 20% taller for portion within 50 ft. of the corner
Alignment	Wall of the portion noted above may be set forward up to 10% of the building height or 6 feet, which ever is greater; and may encroach upon the Build-to Line subject to preserving pedestrian zones	
Articulation	Other features that may be modified include wall materials, window design, roof design and lighting.	

APPROVALS

The Director may modify the architectural features to ensure compliance with the intent of these standards. The Director’s decision may be appealed using the procedures set forth in section G.1.C. paragraphs 5-7.



Terminating ROW where a portion of a building is taller in-line with the center of the ROW than adjacent buildings



**Portion of building is higher and built further out than the main building wall on this corner
Landmark Building**

G-3. Street Grid

Seaside, FL



Kentlands, MD



Example of Layout that Responds to Topography, Drainage and Existing Wooded Lot



**Mid-Block Pedestrian Access to Parking Garage (Left)
Mid-Block Pedestrian Connection (Above)**

INTENT

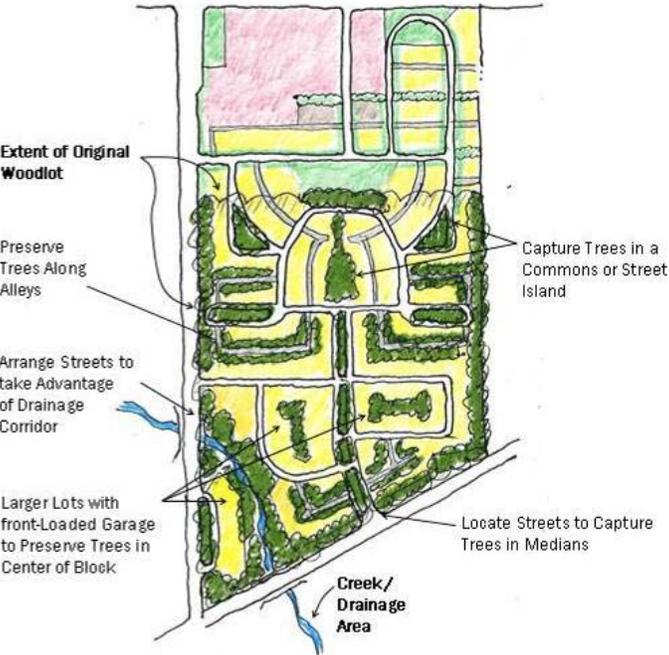
In order to facilitate pedestrian movement, dispersion of traffic, reduced intersection congestion and delivery of emergency services, block lengths should be limited and streets should be interconnected. Streets may be curved to slow traffic and provide enclosed views. Streets should also be laid out in a way that preserves trees and responds to natural topography and drainage patterns.

STANDARDS	SF	URBAN	RETAIL	OFFICE
	RESID.	RESID.		
Block Length (Max.)	800 ft.	400 ft.	400 ft.	800 ft.

Inter-connectivity	No cul-de-sacs	No cul-de-sacs or looped streets		
---------------------------	----------------	----------------------------------	--	--

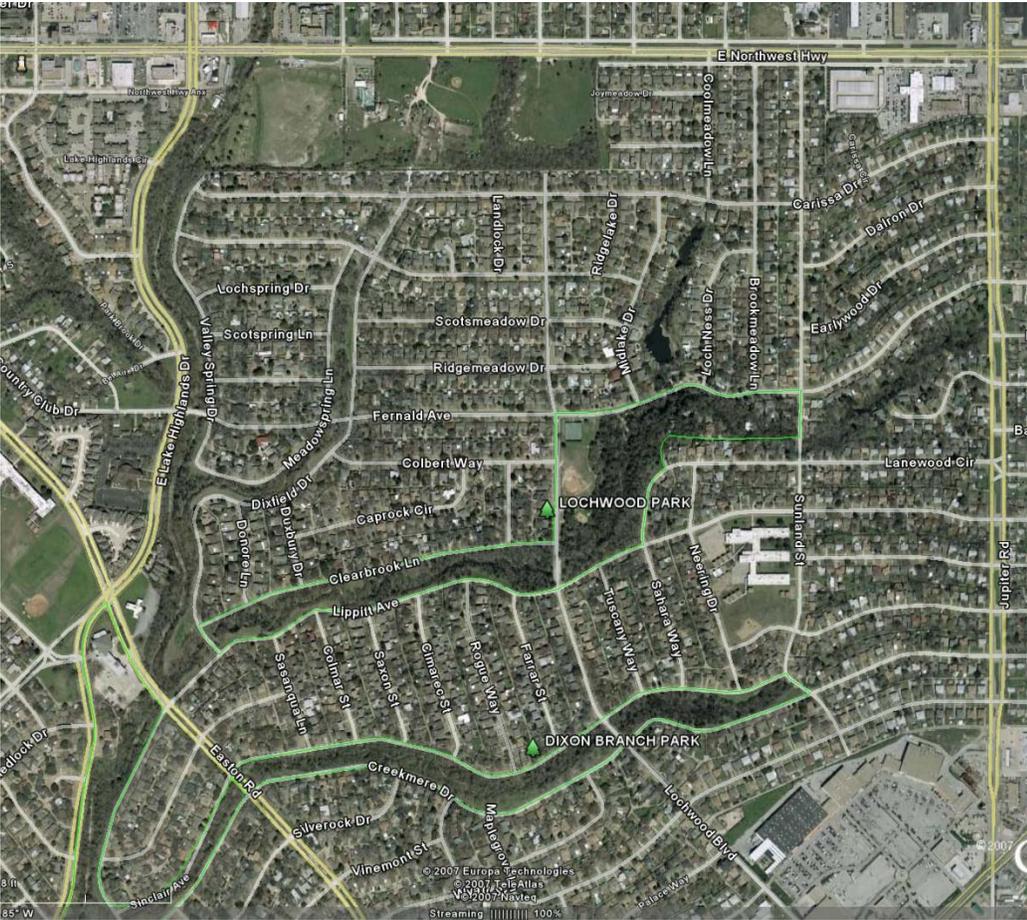
APPROVALS

The Director may approve a waiver of these standards where unique conditions occur such as adjacent to parks, trails and golf courses. Approval of residential cul-de-sacs and commercial cul-de-sacs and looped streets shall require a Minor Waiver unless necessitated by preservation of a public or common open space or trail. With any block length exceeding the standards above, a minimum 20-foot landscaped pedestrian cut-through may be required.



Based on a Plan for Woodland Estates Harvest Real Estate, TBG Partners

G-4. Interconnectivity of Developments



Example of Street grid that conforms to creeks and open space

INTENT

Developments should provide for interconnections with adjacent properties. This will facilitate pedestrian and vehicular circulation and minimize major roadway and intersection congestion.

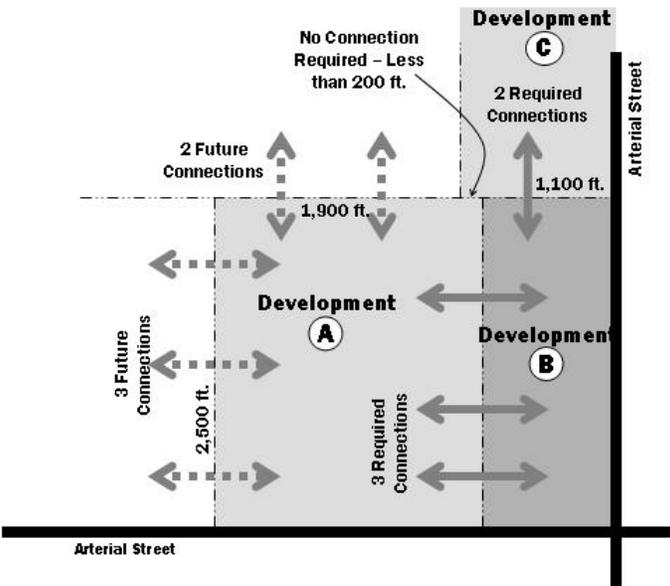
STANDARDS

- Minimum connections**
- 1 Connection with a property that has at least 200 feet of common property line, and
 - 1 Connection for each 1,000 feet or portion thereof, of common property line

APPROVALS

The Director may approve a Minor Waiver of these standards based on unique circumstances.

Sample Illustration of Street Connections



G-5. Neighborhood Oriented Open Space



INTENT

To enhance a sense of community, social interaction and strengthen property values. This may occur as a village green, a pocket of open space or a trail. All buildings immediately adjacent or across a street must face directly on to the open space for it to count toward requirement.

STANDARDS

- Minimum Size**
 - Minimum 50-foot wide (or average, radius – see illustration)

- Minimum Area**
 - 10% of total project area for Urban Mixed Use
20% for greater than 5 units per acre
15% for 2.5 u/a to 5 u/a
0% for less than 2.5 u/a
 - Up to 50% of the minimum area may be comprised of flood plain subject to:
 - Compliance with the Major Creek Ordinance
 - Restoration of the ecological flood plain to 100% function per the City’s Riparian & Wetland Assessment and providing the associated buffer width
 - Provision of passive recreation amenities
 - Approval by the Director



- Neighboring Buildings**

All buildings immediately adjacent or across a street must face directly on to the open space for it to count.

- Distance from Residential Lots**

100% Within 800 feet

- Design**

CPTED principles shall be used in design of open space.

APPROVALS

The Director may approve a Minor Waiver of these standards where special conditions occur.



Sample Illustration of Neighborhood Open Space

G-6. Views



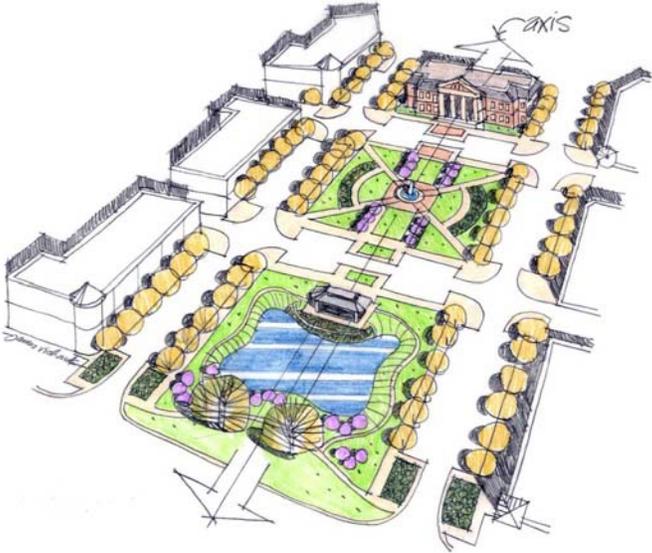
INTENT

Streets should be located to provide views to open space, trails, parks, plazas, landmark buildings, vistas and other views of merit in order to help build community character and a sense of “neighborhood”.

STANDARDS

- Open Space**
 - All public open space shall have a street on at least one side
 - Linear open space and trails shall have street for at least 20% of its length
 - The design of open space shall employ CPTED principles

- Other Views**
 - Non-arterial streets shall be laid out in a manner that provides terminus (building or landscape feature) or oblique views, and may, where topography and other conditions allow, provide expansive vistas
 - Plazas should have a focus such as a fountain or artwork, and contain shade such as large trees or a trellis



APPROVALS

The Director will determine if this standard is being met.

LAND USE

LU-1. Mixed-Use Developments

Examples of Vertical Mixed Use



Examples of Horizontal Mixed Use, with comprehensively planned pedestrian connections

INTENT

Mixed use developments must include residential and either retail or office, mixed vertically or horizontally. The key determinant is that they are included in a comprehensively planned development with a high degree of pedestrian linkages and amenities.

STANDARDS

Mixed Use Residential	<ul style="list-style-type: none"> A minimum of 4 square feet of residential use for each square foot of retail use
------------------------------	--

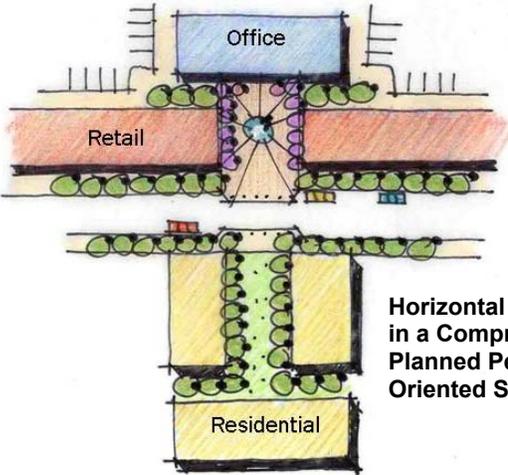
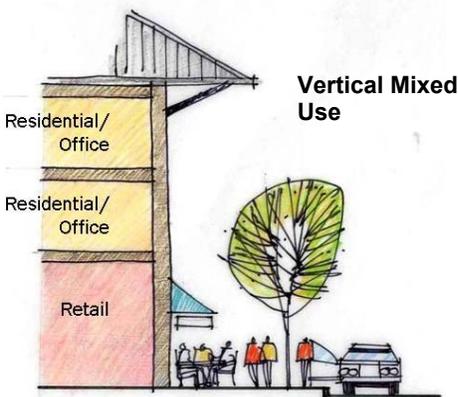
Mixed Use Non-Residential	<ul style="list-style-type: none"> A minimum of 4 square feet of retail or office use for each square foot of residential use
----------------------------------	--

Focus	<ul style="list-style-type: none"> A minimum 10% of the project area shall be used for public plaza/commons
--------------	--

Connectivity	Uses must be vertically integrated or horizontally integrated with pedestrian connections that do not cross high traffic corridors or parking lots.
---------------------	---

APPROVALS

The Director may approve site plans within the ratio range if he/she determines that the development is highly pedestrian oriented, provided there will be adequate infrastructure. For use mixtures that do not meet the ratios above, City Council shall be the final approving authority based upon recommendation by the Planning & Zoning Commission.



LU-2. Retail At-Grade Standards (Urban)

Windows at Grade



INTENT

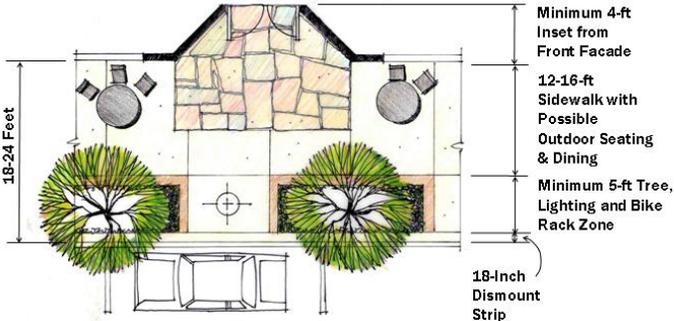
To create attractive and successful retail that contributes to the pedestrian environment.

STANDARDS

Grade Level Ceiling Height	First floor minimum 14 feet clear inside ceiling for buildings up to 50-feet deep; 16-feet for buildings greater than 50-feet deep.
Window Area	<ul style="list-style-type: none"> Between 60 and 80 percent of the ground floor façade shall be windows. This includes a watercourse of at least 18-inches Windows must be clear
Primary Entries	<ul style="list-style-type: none"> Must be inset at least 4 feet from front façade
Setback	<ul style="list-style-type: none"> Primary Building Wall: 18-24 feet from back of curb The Primary Building Wall must be continuous along a block face, and at least 70% must be located within the setback above
Sidewalk	<ul style="list-style-type: none"> Minimum 6-foot clearance for pedestrians
Materials	Only durable materials such as stone, cast stone or brick shall be allowed on the first level, 80% on the façade above ground level. Increased amounts of (3-step process) stucco may be allowed above the ground floor provided that building edges, and door and window surrounds are stone or brick.
Articulation	Retail shall be accentuated by including awnings or canopies, building materials or architectural building features.



Primary Entry inset from front building line



APPROVALS

The Director may approve a Minor Waiver of the primary entry and setback standards, but a waiver to other standards shall be considered a Major Waiver, and must be approved by the Planning & Zoning Commission. The Director may also approve alternative masonry materials where the building wall does not face a sidewalk, street or open space, as a Minor Waiver.

LU-3. Residential At-Grade Standards (Urban)



INTENT

To animate the sidewalk, create a sense of privacy for residents and promote a feeling of community and safety in the street and sidewalk.

STANDARDS

First Floor	<ul style="list-style-type: none"> All residential units located within 6 feet of grade shall have a direct front door access to the sidewalk
Setback	<ul style="list-style-type: none"> Façade from Sidewalk: 6-12 feet for the primary façade, but allows stairs, stoops and elevated patios. The remainder to be landscaped Façade from Back-of-Curb: 18-24 ft
Sidewalk	<ul style="list-style-type: none"> Minimum 6-foot clearance for pedestrians
Porch or Stoop	<ul style="list-style-type: none"> Minimum 24 square feet in area Either inset or covered with an architectural feature or awning
Lobby	For access to units above the first floor, lobbies may be located at grade level and may not exceed an expression of 12 feet in width on the exterior wall.

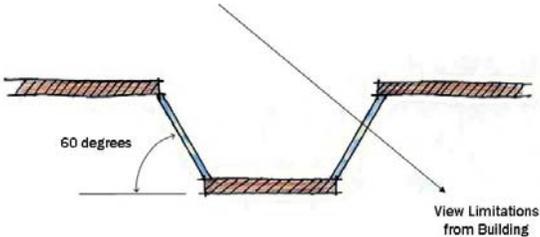
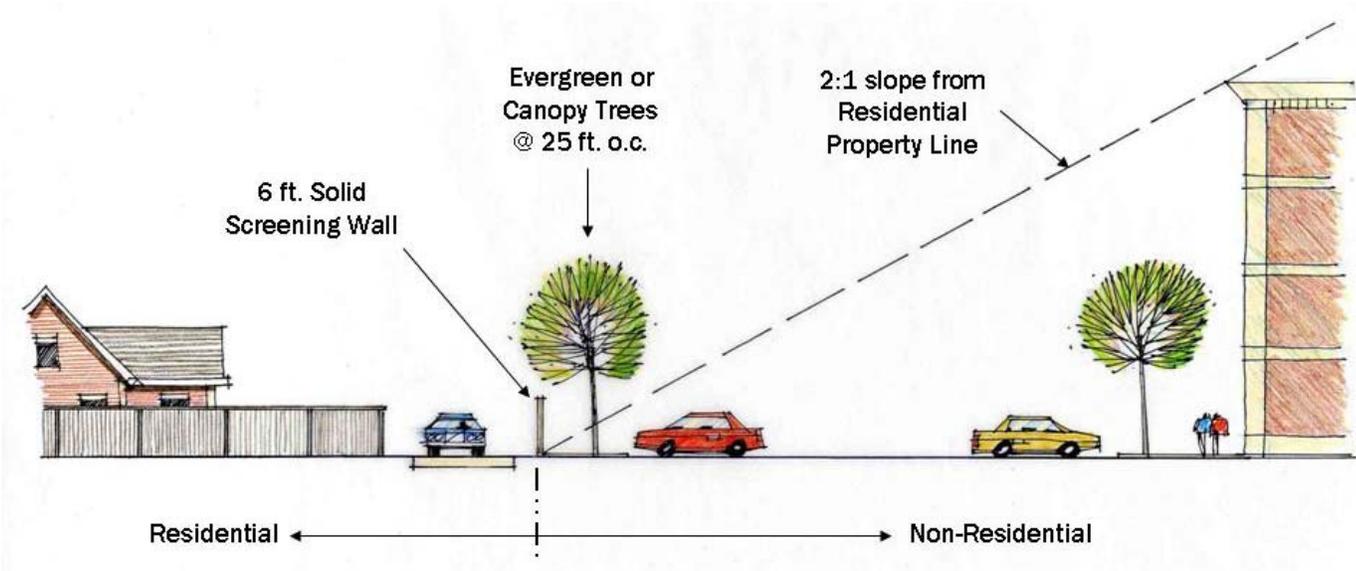


APPROVALS

The Director may approve plans that differ from these standards by 20% or less as a Minor Waiver, provided that the development meets the spirit and intent of this section.



LU-4. Relationship Between Residential and Non-Residential in a Non Mixed-Use Setting



INTENT

To preserve privacy of residential properties when located adjacent to non-residential uses in a non-mixed use setting.

STANDARDS

Landscape Screen	<ul style="list-style-type: none"> Refer to the Comprehensive Zoning Ordinance, Article IV, Section 5 for landscape screening requirements
Setback	<ul style="list-style-type: none"> Building must fit within a 2:1 slope from the residential property line
Windows on the Non-Residential Property above the first floor	<ul style="list-style-type: none"> No transparent windows above the first floor may be horizontally less than 60° from the residential property line if within 140 feet of the common property line

APPROVALS

The Director may approve, as a Minor Waiver, non-residential development site plans that do not meet these requirements provided that he/she determines that the development protects the privacy of neighboring residential properties.

Windows Above the First Floor

- Allowed Screening Trees:**
- Live Oak
 - Chinese Pistachio
 - Eastern Red Cedar
 - Lace Bark Elm
 - Alle Elm
 - Cedar Elm
 - Bald Cypress
 - Chinese Photenia
 - American Holly
 - Nelly R. Stephens Holly

LU-5. Building Orientation as it Relates to Open Space



Homes Should Face Directly to Open Space to Enhance Property Values and Provide Security

INTENT

That all residential properties face the front of their primary buildings directly towards any Neighborhood-Oriented Open Space or trails in order to enhance property values and provide security.

STANDARDS

Building Orientation

- All residential buildings which are adjacent to, or across a street from, a Neighborhood Oriented Open Space or trail shall face directly on to such amenity
- Any retail or office building located adjacent to or across the street from a Neighborhood Oriented Open Space or trails shall have a major entry and windows overlooking the amenity

APPROVALS

The Director may approve site plans where buildings will face or side on to open space, trails and parks, but may require adjustments to street alignment and building siting and design to maximize benefits and preserve public safety. Any Site Plan that contains buildings which back on to public open space must be approved by the Planning & Zoning Commission as a Major Waiver.



Example of Possible Open Space Configuration

SITE

S-1. Site Layout – Big Box

INTENT

To ensure that large retail buildings can be readily redeveloped for smaller pedestrian-oriented uses and minimize large vacant buildings when businesses relocate or close.

STANDARDS

Development Alternative

Either of the following must be approved in conjunction with a Site Plan for the development:

1. A Plan demonstrating that the site can be re-configured into a pedestrian oriented development by adding additional development, without removing more than 50% of the proposed big box building; or
2. The primary building front wall is built no greater than 100 feet from the back of curb of all fronting streets, in a manner that would facilitate its use by smaller tenants, with one full bay of parking in front and a continuous browsing lane. (See Browsing Lane Diagram in S-2 Site Layout - Retail Centers below.) This does not apply to big box buildings which are part of a larger development that meets these setback standards.

Articulation

1. **Horizontal Articulation.** No building wall shall extend for a distance equal to 3 times the wall's height without having an off-set equal to 25% of the wall's height, and that new plane shall extend for a distance equal to at least 25% of the maximum length of the first plane. (See Diagram on next page.)
2. **Vertical Articulation.** No horizontal wall shall extend for a distance greater than 3 times the height of the wall without changing height by a minimum of 25% of the wall's height.

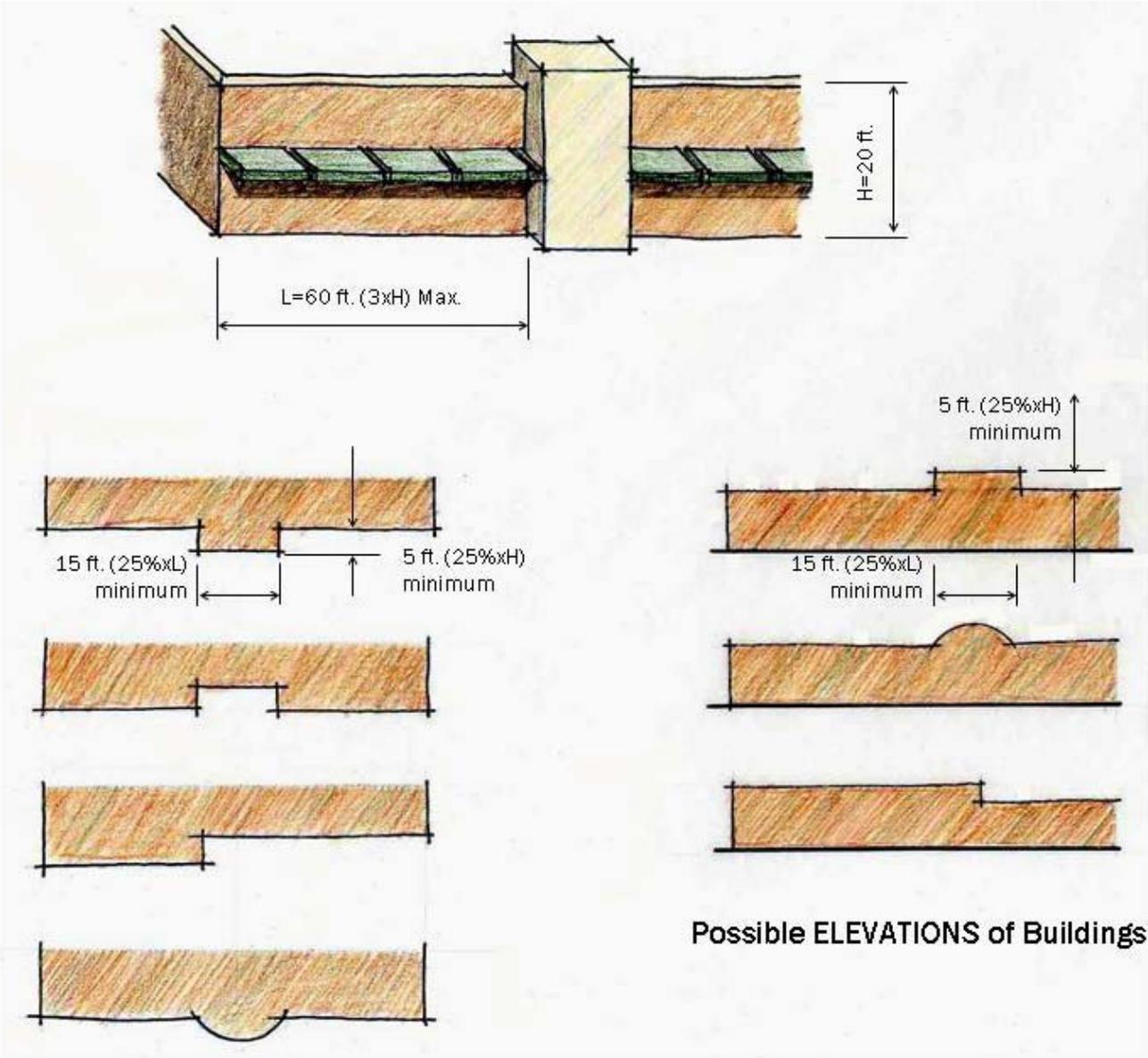
Examples of Articulation



APPROVALS

The Director may approve the development alternative or set conditions for alternatives that will achieve this intent.

Articulation Diagram



Possible PLANS of Buildings

Possible ELEVATIONS of Buildings

S-2. Site Layout - Retail Centers

INTENT

To create a pedestrian oriented retail center where the pedestrian environment is attractive and comfortable.

STANDARDS

Build-to Lines (See LU-2 Retail At-Grade for other standards)

- On planned 4-lane or larger streets, build-to lines shall be 94-100 feet from back-of-curb to permit one full bay of parking and a "browsing lane" between the street and building
- On streets with no on-street parking, the build-to line shall be 24-feet from back of curb to allow for a 6-8 foot tree planting and lighting zone
- On streets with on-street parking, the build-to line shall be 18-24-feet from back of curb to allow for 18-inch dismount and 4-6 feet for a street tree and lighting zone
- Additional setback from the build-to lines may be permitted to provide for pedestrian amenities such as an outdoor dining patio or plaza
- Retail should be constructed the entire length of the property line along street frontages except for access drives unless otherwise approved as part of a Site Plan

Pedestrian Orientation

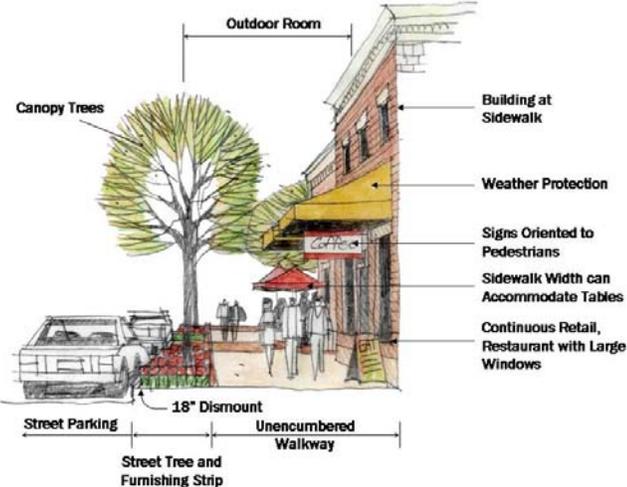
All buildings shall be laid out to create an attractive pedestrian environment with retail/restaurant use and windows at grade, and shade from street trees and awnings.

Location of Parking

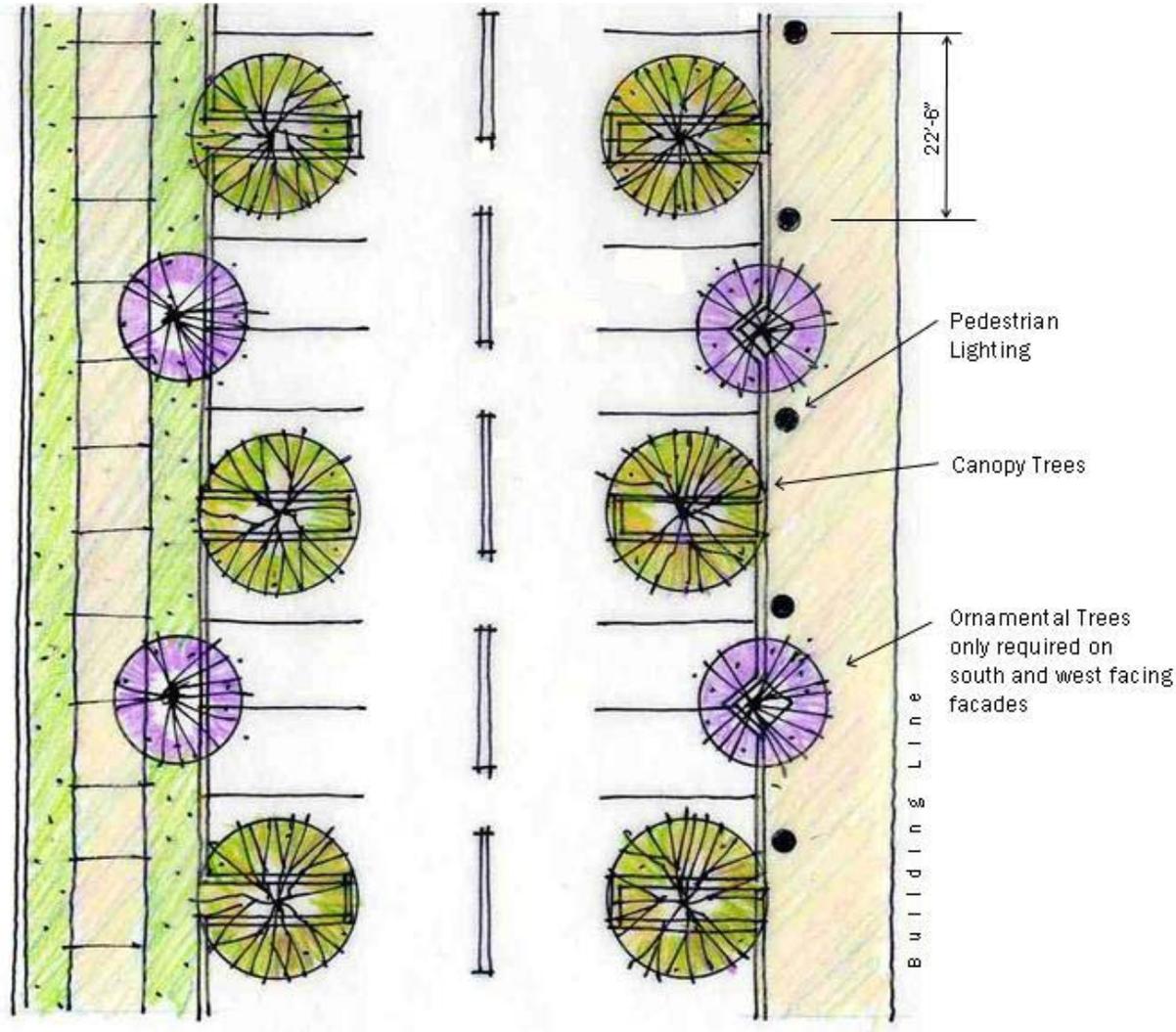
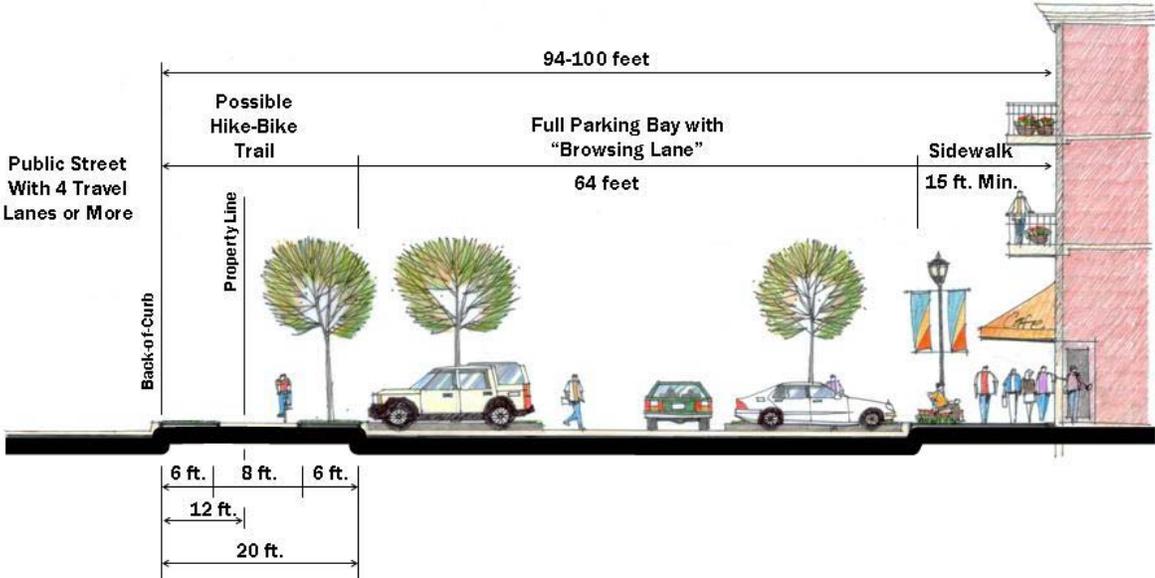
All on-site parking shall be located to the side or rear of the property behind the front building lines except where allowed along a 4-lane or larger street (See Browsing Lane Diagram next page.).

APPROVALS

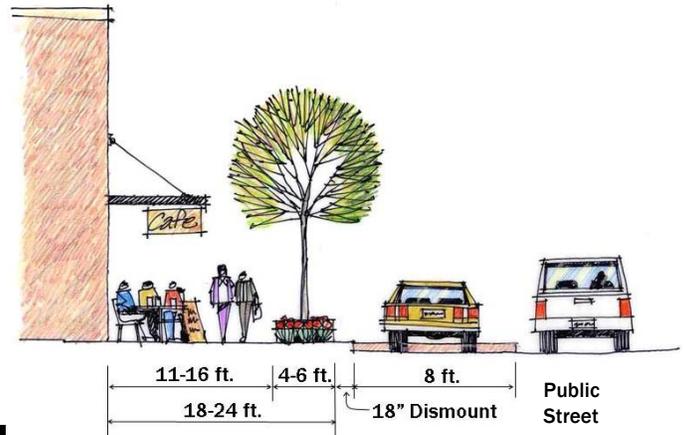
The Director may approve the development alternative or set conditions for alternatives that will achieve this intent.



Browsing Lane



S-3. Commercial Use Parking Location



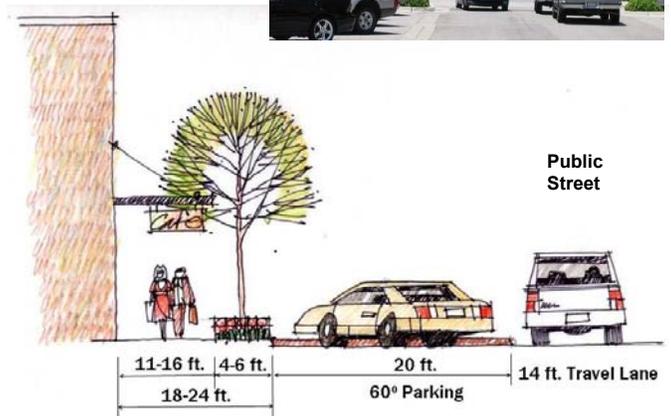
INTENT

To enhance pedestrian orientation and reduce the need for large signage along streets.

STANDARDS

Location of Parking

- Properties adjacent to a Major Thoroughfare may locate a maximum of one full bay (64-ft) adjacent to the thoroughfare. Shade trees shall be planted along the street and within the parking area. All remaining parking must be located 20 feet or more behind the front façade of the building closest to the thoroughfare (See Diagram in S-1)
- Properties adjacent to other thoroughfares must locate all parking at least 20 feet behind the front façade of the building located closest to the thoroughfare
- Properties which are located on a collector or smaller street and intended to be a pedestrian-oriented development may construct on-street parking parallel or at 60 degrees to the curb line provided that it is approved by the Director in consultation with the Director of Engineering Services
- Parking may be located in structured garages provided that they are located generally in the center of a property and lined with building



APPROVALS

The Director may approve the development alternative or set conditions for alternatives that will achieve this intent.



S-4. Fencing, Visible from the Street



INTENT

In residential properties, fencing which is visible from public areas reflects the quality of the house and the need for fence maintenance is minimized.

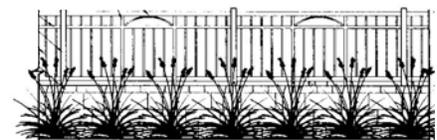
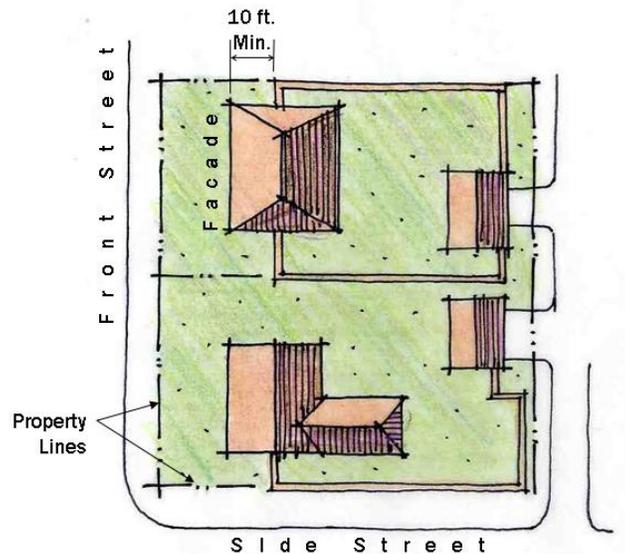
STANDARDS

- Materials**
- All metal fencing shall have a wrought iron appearance in shape
 - A combination of masonry and metal fencing where masonry columns are located between 12 and 16 feet apart, or with a masonry base not to exceed 36 inches and metal fencing above
 - White picket fences may be constructed provided they do not exceed 3 feet in height. Such picket fences may be constructed of painted wood or cementitious fiberboard
 - Drought tolerant landscaping shall be planted in combination with fencing
 - All forms of chain link and natural or stained wood fencing are prohibited where it can be viewed from a public area
 - Masonry must match the masonry of the primary structure

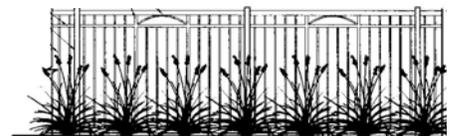
- Location**
- When greater than 3 feet in height, fencing must be located at least 10 feet behind the front façade line
 - Where on a corner lot, a fence up to 6 feet in height may be built up to the side street property line

APPROVALS

The Director may approve fencing where the intent is achieved and the result will provide a more effective solution based on local site conditions.



Wrought Iron and Masonry Fence



Wrought Iron Fence

S-5. Single Family Residential Garage Locations



INTENT

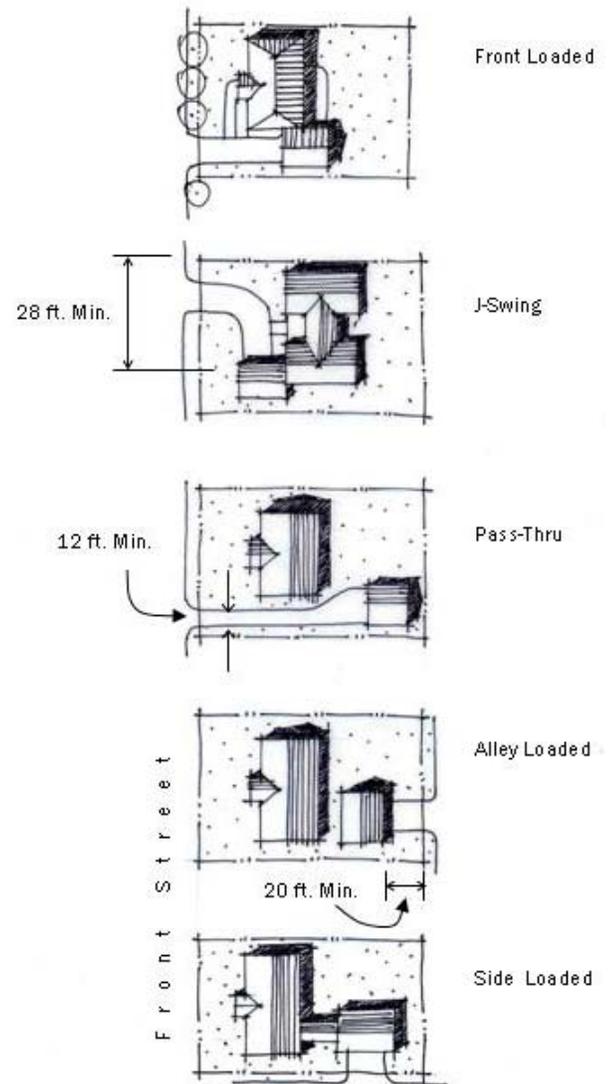
To emphasize the home over the garage and on-site parking in the neighborhood streetscape.

STANDARDS

Setbacks	Garages shall meet all building setbacks except for rear yard setbacks.
Front Street Loaded Garages	Garages shall be setback a minimum of 20 feet from the front building line or porch line, which ever is closest to the street. (See also <i>S-6 Residential Front Entry Garages</i>)
Side Street Loaded Garage	The front of the garage shall be setback a minimum of 28 feet from the opposing property line. (See also <i>S-6 Residential Front Entry Garages</i>)
J-Swing Garages	Same as “Front Street Loaded Garages” above. (See also <i>S-6 Residential Front Entry Garages</i>)
Pass-Thru Garages	<ul style="list-style-type: none"> A maximum width of the driveway shall be 12 feet between the street and the front façade of the primary structure The rear of the garage may be set back a minimum of 6 feet from the rear property line provided it is a single story structure. Otherwise, it shall meet the usual building setback requirement
Alley Loaded Garage	The minimum setback from the alley right-of-way shall be 20 feet.

APPROVALS

The Director may approve alternative garage locations which meet the intent of these standards but which will result in an improved site and neighborhood design.



S-6. Single Family Residential Front Entry Garages



Planting strips can screen J-Swing Garages



Garages should have single doors to break up the massing of large double doors

INTENT

To ensure that garages do not dominate the neighborhood streetscape, and to ensure that landscaping and enhanced paving soften the effects of increased amounts of paving, and to provide alternatives for front entry conditions.

STANDARDS

- Front Loaded & J-Swing Garages**
- **Garage Doors.** Garages Doors shall be single door units with a minimum 18-inch column separation. Doors shall be inset from the front façade and columns a minimum of 12-inches
 - **Paving.** Drives should include accents of brick, concrete pavers or stamped and colored concrete within the property

- J-Swing Garages**
- J-swing properties should be clustered in pairs with garages facing each other and a planting strip along the shared property line that will provide screening from the street
 - **Screening.** Garages should be screened from the street with planting strips opposite the garage doors

APPROVALS

The Director may approve alternative garage locations which meet the intent of these standards and will result in an improved site and neighborhood design.



Driveways should include enhanced paving or stamped patterned concrete within the property lines.

Front Entry Garages

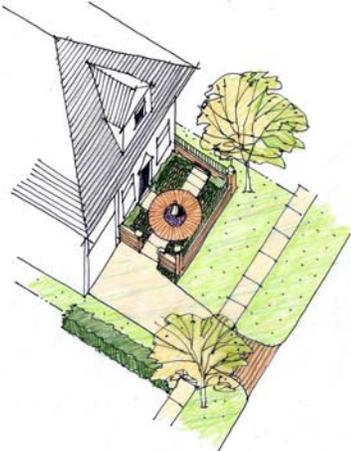
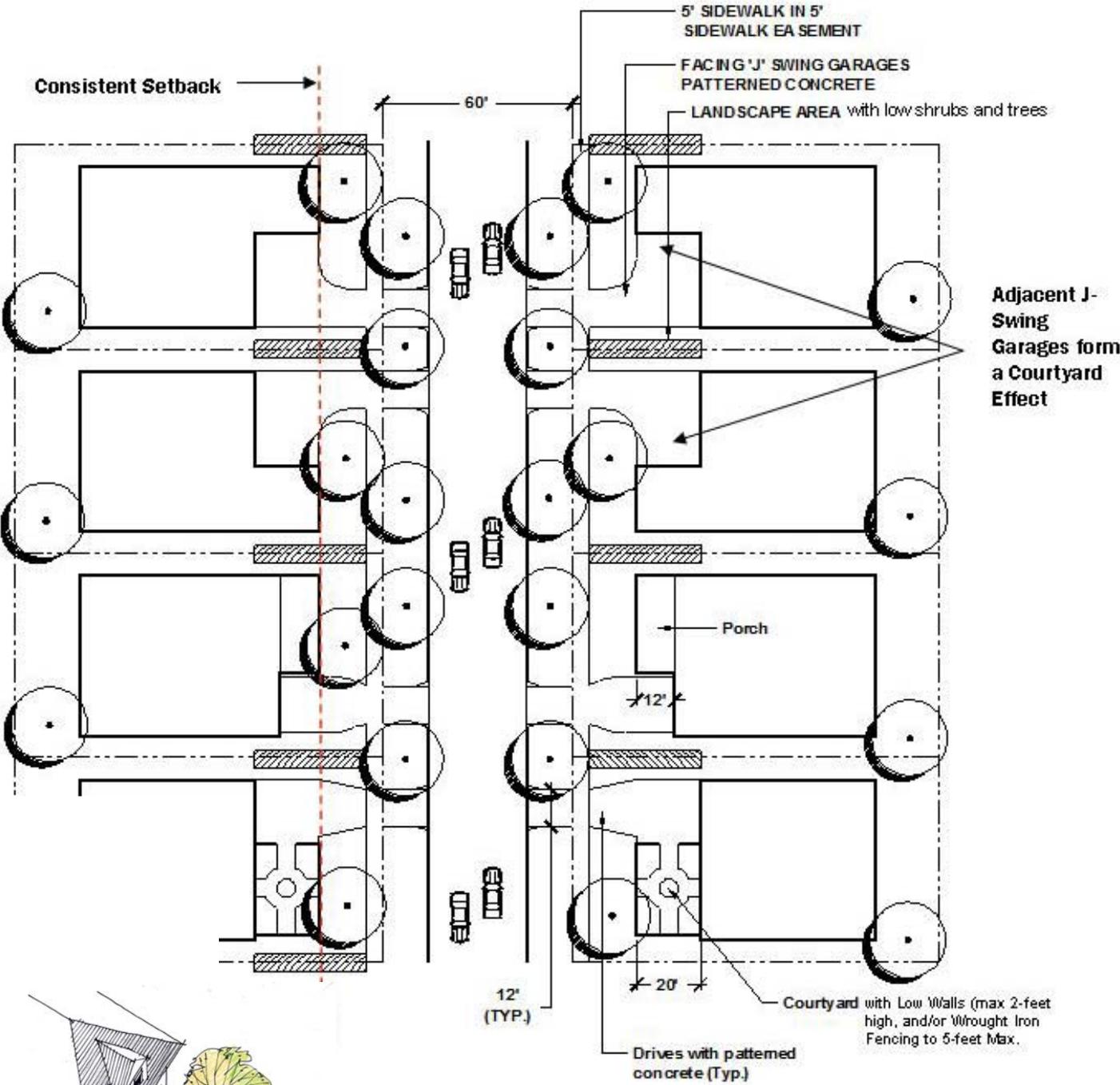


Illustration of Front Entry Garage with Courtyard

BUILDING

B-1. Architectural Detailing of Residential Window Treatments



INTENT

To ensure that a traditional residential character is maintained and that windows provide “eyes on the street” following CPTED principles for neighborhood security. These standards apply only to windows facing a street or other public area such as alleys, open spaces and parks.

STANDARDS

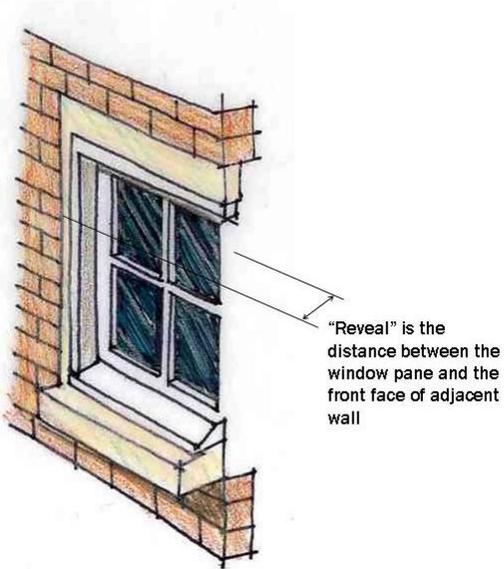
- Window proportion**
 - Windows shall be vertical in proportion by a ratio of 1.25:1 or more (height to width)
 - Multiple vertical windows may be placed together to form a compound window which may be wider than it is tall

Amount of window area A minimum of 15% of the total façade area facing a street or other public area shall be comprised of windows.

Window reveal Windows shall have at least a 4-inch reveal.

APPROVALS

The Director may approve elevation plans which meet the intent of these standards but which will result in an improved site and neighborhood design.



B-2. Front Porch Requirements



INTENT

To create useable porches on single family homes which are integrated into the building design, and which encourage neighborhood socializing.

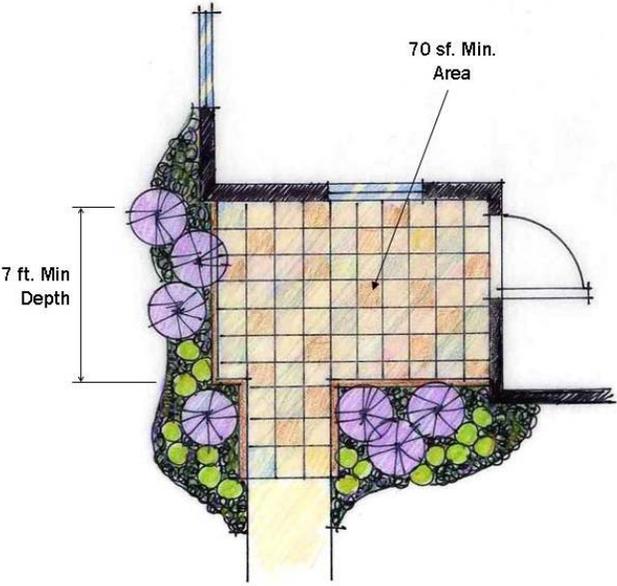
STANDARDS

Depth	Porches shall have a minimum 7-foot depth between building wall and inside of railing.
Area	Porches shall contain a minimum of 70 square feet of area.
Wrap-around	Porches on corner lots shall wrap around the house corner for a minimum of 8 feet to face both intersecting streets. This applies only to homes using cementitious siding with the approval of a pattern book.
Structural Columns	<ul style="list-style-type: none"> ▪ Porch columns supporting the roof shall be constructed of stone, cast stone or brick (which matches the masonry on the main structure) on buildings which contain 60% or more of masonry exterior walls, excluding windows and doors ▪ Buildings with less than 60% masonry may use columns made of cementitious fiberboard material approved by the Building Official
Porch Foundation	<ul style="list-style-type: none"> ▪ The porch foundation shall be an extension of the house foundation; not just constructed as a deck



APPROVALS

The Director may approve non-masonry columns if they contribute to the particular character or style of the architecture. A reduction in the porch size or depth must be approved by the Planning & Zoning Commission as a Major Waiver.



B-3. Anti-Monotony



Three homes which vary in Roof Layout Façade Articulation and Garage Configuration

INTENT

To ensure that homes appear to be custom designed within a neighborhood to support property values and property identity; and to avoid excessively tall and unarticulated roof lines.

STANDARDS

Diversity of Design	Differences shall be reviewed for the entire block face of the proposed house. They must differ in at least two of the following ways— (Note: The simple “flipping” of a house plan shall not qualify.)
a. Number of Stories	Half-stories or attic rooms shall count if articulated with windows toward the street(s).
b. Roof Type and Layout	<ul style="list-style-type: none"> ▪ Gabled versus hipped; and ▪ Distinct variation in ridge lines
c. Front Façade Articulation	<ul style="list-style-type: none"> ▪ Inclusion of porches greater than 8 feet in length with a minimum of 70 s.f. ▪ Use of bay windows ▪ Variation of building materials ▪ Changes to the front wall plane ▪ Location of front door
d. Garage Location (If not Alley loaded)	<ul style="list-style-type: none"> ▪ J-Swing ▪ Pass-through garage ▪ Front loaded garage <p>(Note: standards must be met for each garage type)</p>

APPROVALS

The Director shall consider the variations listed above to determine whether the Anti-monotony standard is being met.

B-4. Residential Building Standards for Traditional Neighborhood Developments (TND)



INTENT

To create a neighborhood that appears to have developed with individual homes over time, but within a general style, and to ensure that there will be a minimum of maintenance required to keep homes attractive as they age.

STANDARDS

Allowed Materials

- The exterior of all primary structures shall be constructed of 100% masonry, excluding windows and doors
- For the purposes of this section, masonry shall be considered as stone, cast stone and fired clay brick. However, cementitious fiberboard may be used provided that it meets the highest standards of the industry and the standards below, and that it is approved by the Building Official.



Cementitious Fiberboard

- Smooth cementitious fiberboard siding (minimum 5/8-inch thick) may be used for trim and soffits
- The exposed width of siding or trim shall not exceed 12-inches
- It may also be used for accents of architectural bead-board, scallops and board and batten in neighborhoods approved as “TND neighborhoods”
- Based on a Pattern Book or Style references, in TND neighborhoods—
 - 1 in 8 houses may include up to 100% cementitious siding material
 - 2 in 8 houses may include up to 50%
 - 2 in 8 houses may include up to 75%
 (This applies to all sides of a house)



APPROVALS

The Director may approve standards provided he/she determines that the development meets the spirit and intent of this section.



B-5. Commercial Building Form

INTENT

To provide a pleasing articulated architectural form to the public environment and to support a healthy pedestrian district.

STANDARDS

Tri-partite Architecture All buildings shall be designed and constructed in tri-partite architecture so they have a distinct base, middle and top.

Emphasize Entries Main entries shall be highlighted so that they are obvious to pedestrians and motorists using such techniques as building articulation and/or entry canopies

Frequency of Entries

- Each building and separate lease space at grade along the street edge shall have a functioning Primary Entry from the sidewalk
- Primary entries must be located no greater than 60 feet apart. Such entries must be inset from the front building plane by at least 4 feet (See *LU-2 Retail at Grade Standards*)
- Corner entries may count as a Primary Entry for both intersecting street fronts

Windows

- Windows shall have at least a 4-inch reveal and except for retail at grade, shall be vertical in proportion
- Glass curtain wall may be permitted as an architectural feature by Minor Waiver
- Windows and glazing shall be a minimum of 30% up to a maximum of 70% of each building elevation excluding retail at grade

APPROVALS

The Director may approve, as a Minor Waiver, a variation of up to 15% of the minimum dimensions above, a greater reduction must be approved by the Planning & Zoning Commission as a Major Waiver.



Tri-Partite Architecture: Buildings with a “Base”, “Middle” and “Top”

PUBLIC REALM

PR-1. Special Street Types — Retail Internal Circulation



Enhanced Sidewalks and Crosswalks



Neck Down

INTENT

To provide a pedestrian oriented retail street on a development parcel without through traffic, that is internal to a retail or mixed use area (i.e. not a public right-of-way).

STANDARDS

	PARALLEL PARKING	ANGLED PARKING
Street width	40 ft. (back of curb); 24 ft. Driving Lane	62 ft. (back of curb) 28 ft. Driving Lane
Parking	<ul style="list-style-type: none"> 8 ft. Neck down at Intersection 	<ul style="list-style-type: none"> 19 ft. Neck down at Intersection
Building Face to Building Face	76 – 88 ft.	102 – 114 ft.
Street Trees	+/-30 ft. on center	
Pedestrian Street Lights	+/-60 ft. on center	
Enhanced Sidewalks & Crosswalks	<ul style="list-style-type: none"> Utilize enhanced materials, especially at crosswalks Score lines on concrete sidewalks and building entry “aprons” can enliven the sidewalk 	



Roundabout



Sidewalk

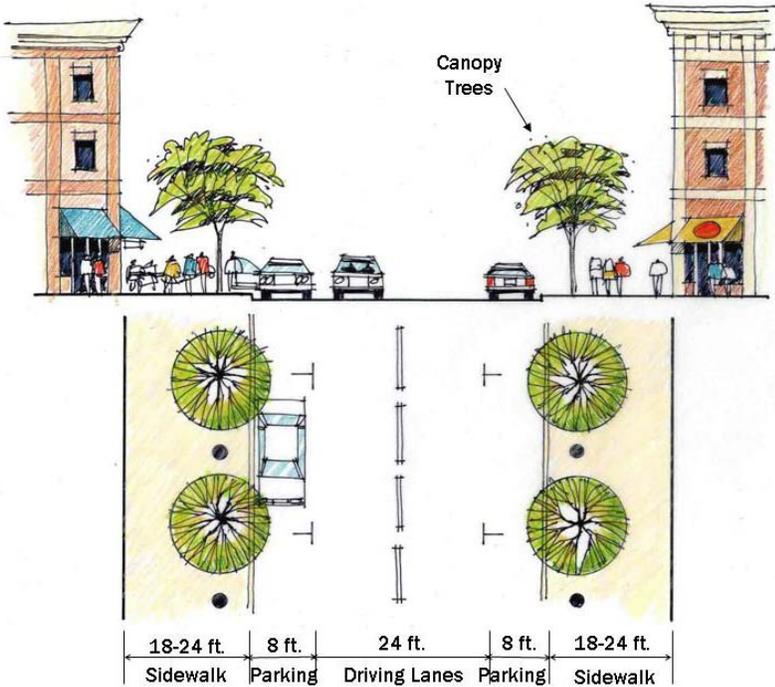


Sidewalk

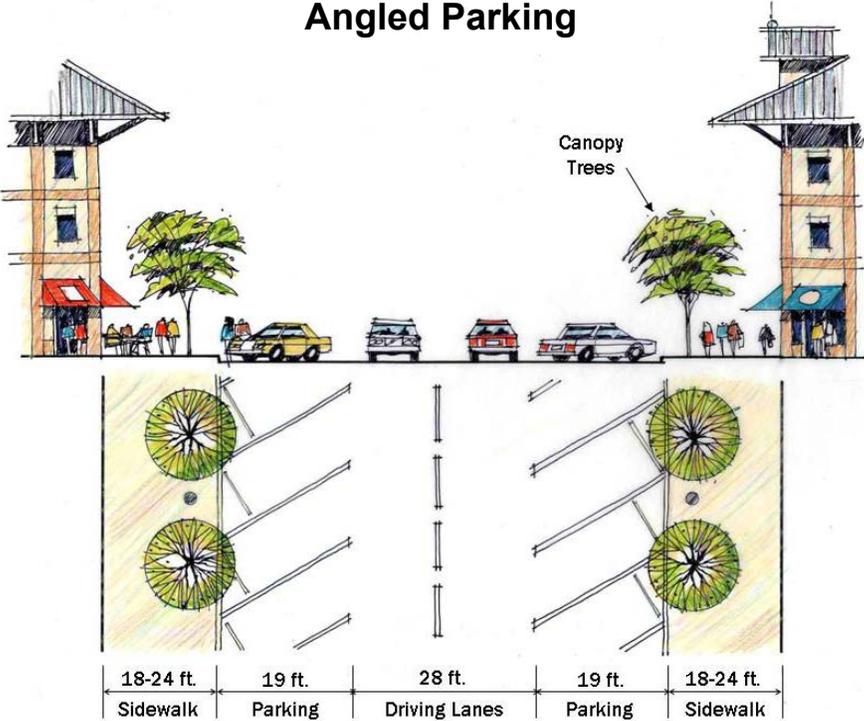
APPROVALS

The Director may approve minor modifications to these standards as a Minor Waiver.

Parallel Parking



Angled Parking

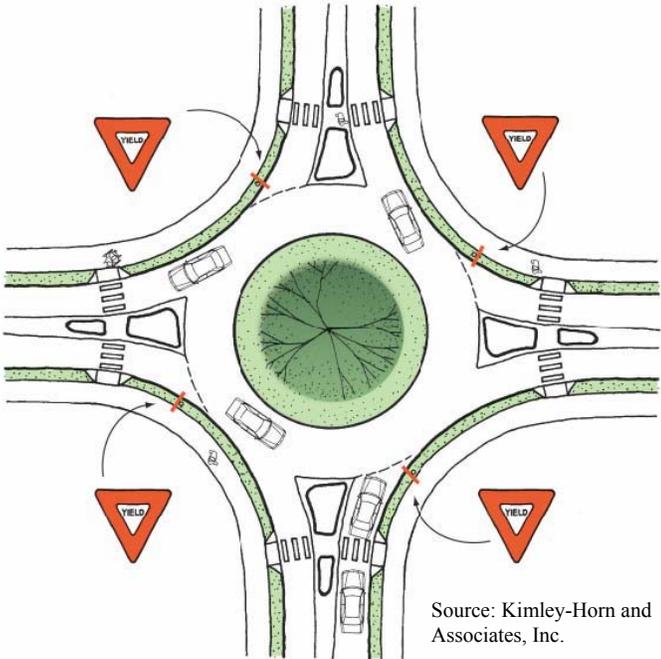


Sidewalk width may go down to 15-ft if trees are planted in parking islands

PR-2. Special Street Types — Round-About



Source: Kimley-Horn and Associates, Inc.



Source: Kimley-Horn and Associates, Inc.

INTENT

To provide a modern roundabout that allows vehicles free-flow capability through an intersection, while enhancing pedestrian and bicycle safety as a result of reduced traffic speeds.

STANDARDS

Roadway and Pedestrian Design Standards See "ITE Proposed Recommended Practice - Context Sensitive Solutions in Designing Major Urban Thoroughfares for Walkable Communities", 2006

Circle Feature The Circle should have a distinctive vertical feature such as public art, a colorful tree grouping or a large shade tree.

APPROVALS

The Director of Engineering Services may approve minor modifications to these standards using the standards for Minor Waivers.

PR-3. Special Street Types — Townhome Alley



INTENT

To provide an attractive and functional design for townhome developments. This design should provide for pedestrian comfort, accommodate vehicle maneuvering in and out of garages, temporary parallel parking and emergency vehicle access. In addition, it should provide landscaping and shade on paved areas for most of the day.

STANDARDS

Alley Width Alleys shall be 12 feet of paving in a 12-foot right-of-way, with a 12-foot public easement on each side that is adjacent to parking.

Parking

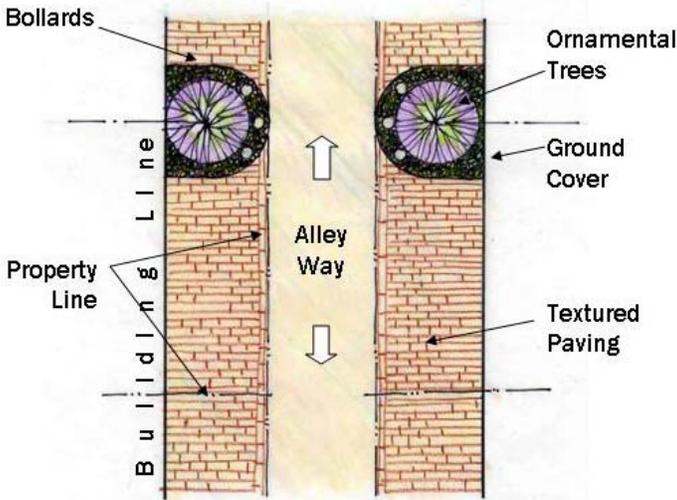
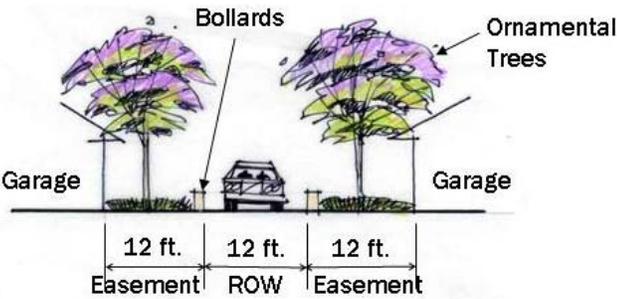
- Garages shall be set back a minimum of 12 feet from the alley right-of-way
- Additional surface parking may be provided adjacent to garages on a paved surface

Landscaping

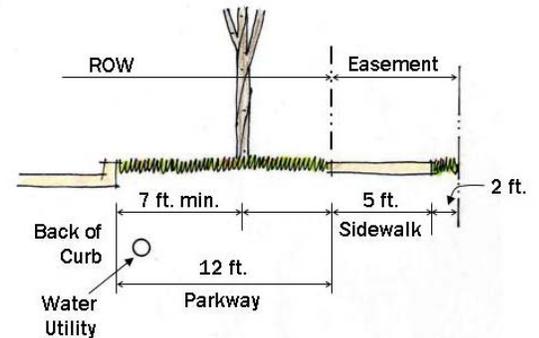
- One ornamental tree shall be planted at a shared property line or right-of-way line for lots up to 60 feet in width. Trees shall be planted 5 feet from the edge of the drive aisle paving.
- Larger lots shall plant two ornamental trees.

APPROVALS

The Director of Engineering Services may approve minor modifications to these standards subject to working out the location of all utilities using the standards for Minor Waivers.



PR-4. Sidewalks



Residential Sidewalks

INTENT

To create sidewalks which will be shaded, attractive and provide a feeling of safety in order to encourage pedestrian use.

STANDARDS

Residential Sidewalks

- Shall be a minimum of 5 feet wide
- Shall be setback from the curb by at least 7 feet with shade trees planted in this setback area at a frequency specified in *PR-5 Street Trees*

Non-Residential/Mixed Use Sidewalks

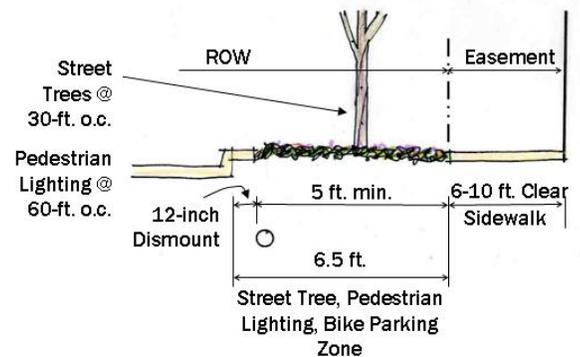
- Shall be a minimum of 6 feet clear pathway (plus additional for outside dining and seating), and up to 10 feet clear for high density developments
- Shall have an additional 18-inch hard-surfaced dismount strip including the top of curb adjacent to parallel parking
- Shall have a minimum 5-foot street tree, pedestrian light and bicycle parking zone between the sidewalk and the street

Hike-Bike Trails

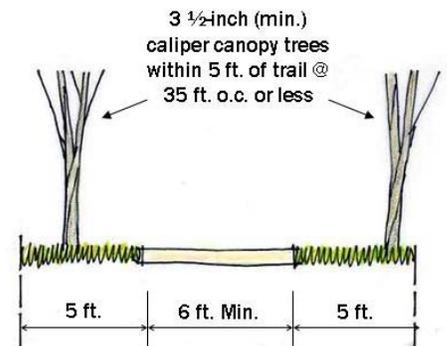
- Shall be a minimum of 6 feet in width, or as may be modified by the City's Hike & Bike Master Plan
- 3 ½ inch Caliper (minimum) shade trees shall be planted within 5 feet of the trail on the west or south edge of the trail, at an average of 1 for each 35 linear feet

APPROVALS

The Director may approve minor modifications to these standards as a Minor Waiver.



Non-Residential/MXU Sidewalks



Hike-Bike Trails

PR-5. Street Trees



INTENT

To create attractive streets, decrease ambient summer temperature, improve air quality and support pedestrian activity.

STANDARDS

- Street Trees**
- All residential neighborhood streets shall have shade trees planted an average of 35 feet on center between the curb and sidewalk
 - Retail urban and mixed use streets shall have trees planted an average of 30 feet on center
 - All trees shall be a minimum of 3 ½ inch caliper when planted
 - Root control system as required by the City’s Landscape Architect

- Tree Prohibition**
- No tree except those listed on this page, or which may be approved by the Director shall be planted within 10 feet of any public street curb or paving.

Tree Wells Minimum 4-foot width or depth and a minimum of 25 s.f. in area.

APPROVALS

The Director may approve minor modifications to these standards as a Minor Waiver.

TREES WHICH MAY BE PLANTED ADJACENT TO STREETS:

Shade Trees:

- Bald Cypress
- Pond Cypress
- Cedar Elm
- Texas Red Oak
- Homestead Elm
- Lace Bark Elm
- Alle Elm
- Chinese Pistachio
- October Glory Maple
- Texas Ash
- Chinquapin Oak
- Shumard Oak
- Sycamore
- Burr Oak

Under-story and Ornamental Trees:

- Texas Redbud
- Eve’s Necklace
- Mexican Plum
- Downy Hawthorn
- Crepe Myrtle
- Chinese Pistachio
- Texas Mountain Laurel
- Vitex
- Desert Willow